

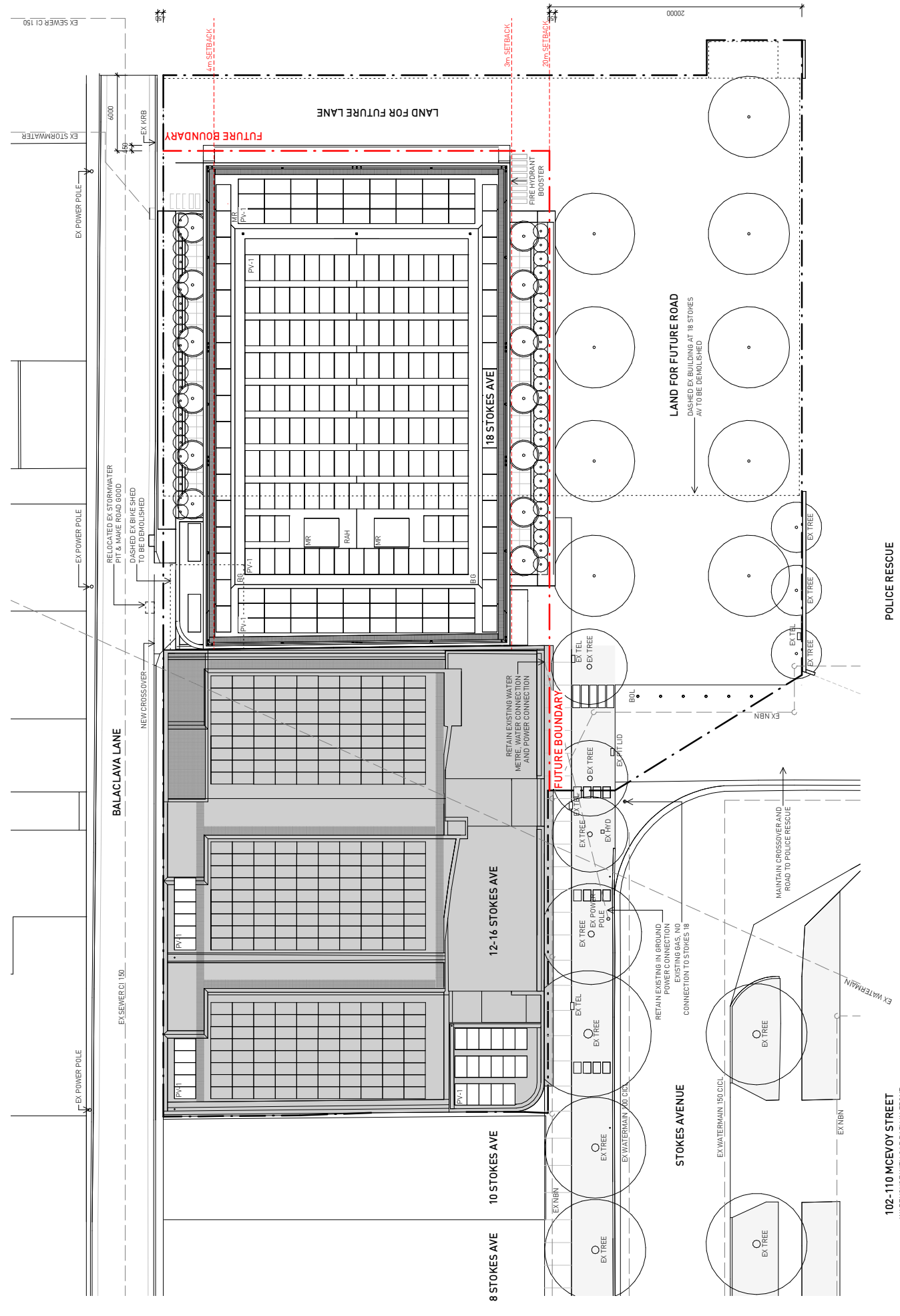
Attachment B

Selected Drawings

| LEGEND | |
|--------|--|
| | STUD WALL / PARTITION |
| | CONCRETE WALL |
| | BLOCK WALL |
| | BRICK WALL |
| | EXISTING WALL TO BE RETAINED (BLENDS SHOWS DETAIL) |
| | WALL TO BE DEMOLISHED |

- NOTES**
- All dimensions to be verified on site.
 - Refer to drawings for dimensions or omissions to SDB prior to construction.
 - Refer to drawings for dimensions or omissions to SDB prior to construction.
 - All drawings to be read in conjunction with specification.
 - All drawings to be read in conjunction with specification.
 - All structures to structural engineer's details.

| ISSUE | REASON | DATE |
|-------|-------------------|----------|
| A | Planning Approval | 21/04/23 |
| B | DA RFI | 01/09/23 |
| C | DA RFI2 | 06/10/23 |



1 SITE PLAN

14 STOKES AVE
ALEXANDRIA NSW 2015
TEL +61 2 8332 4333
NOM ARCH WILLIAM SMART 4381

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PROJECT
2202 STOKES 18

DRAWN
DH WS

APP'D
WS

REV
C

DWG TITLE
SITE PLAN

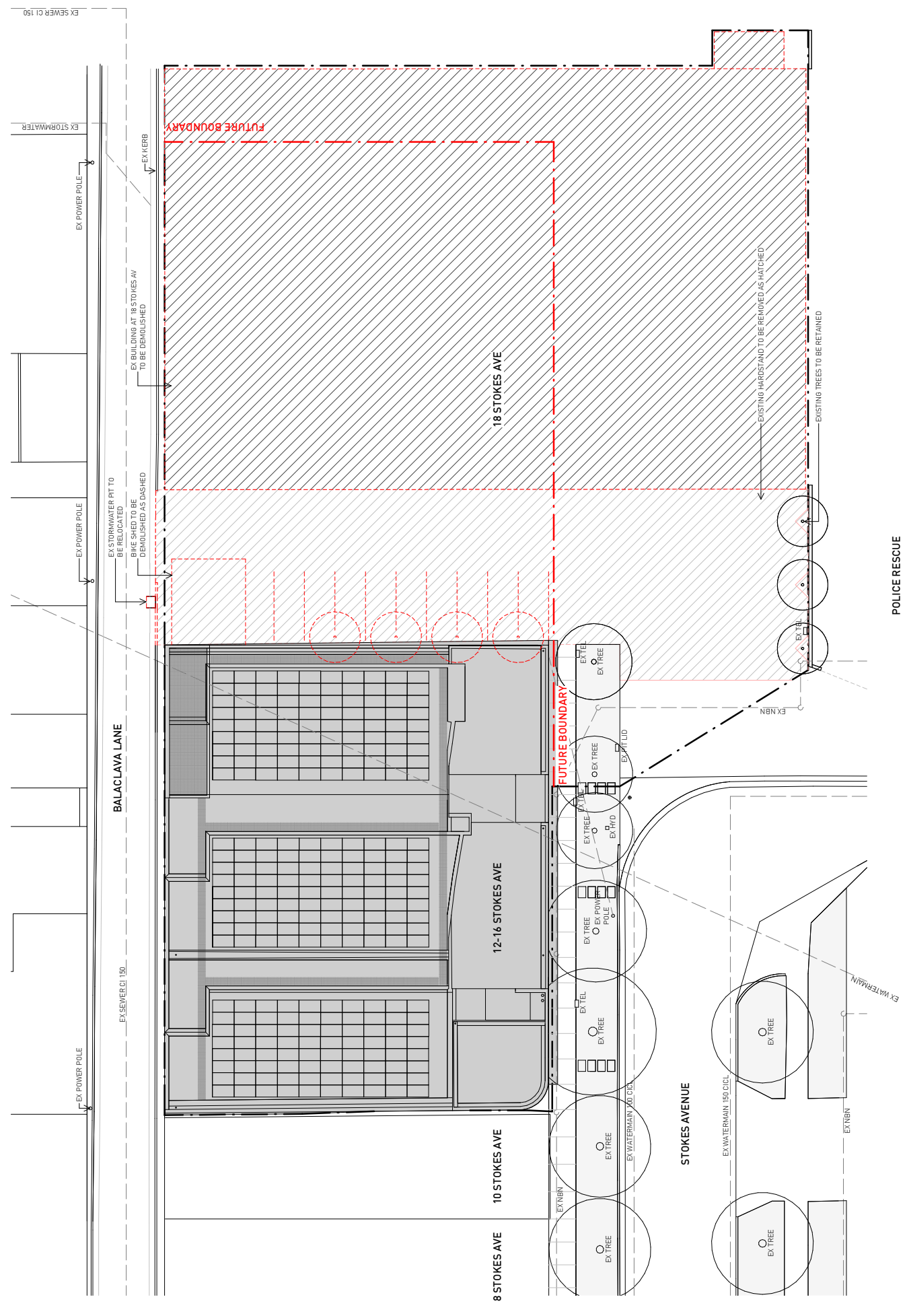
DWG NO
DA001

| LEGEND | |
|--------|--|
| | STUD WALL / PARTITION |
| | CONCRETE WALL |
| | BLOCK WALL |
| | BRICK WALL |
| | EXISTING WALL TO BE RETAINED (GREY SHOWS DETAIL) |
| | WALL TO BE DEMOLISHED |

NOTES

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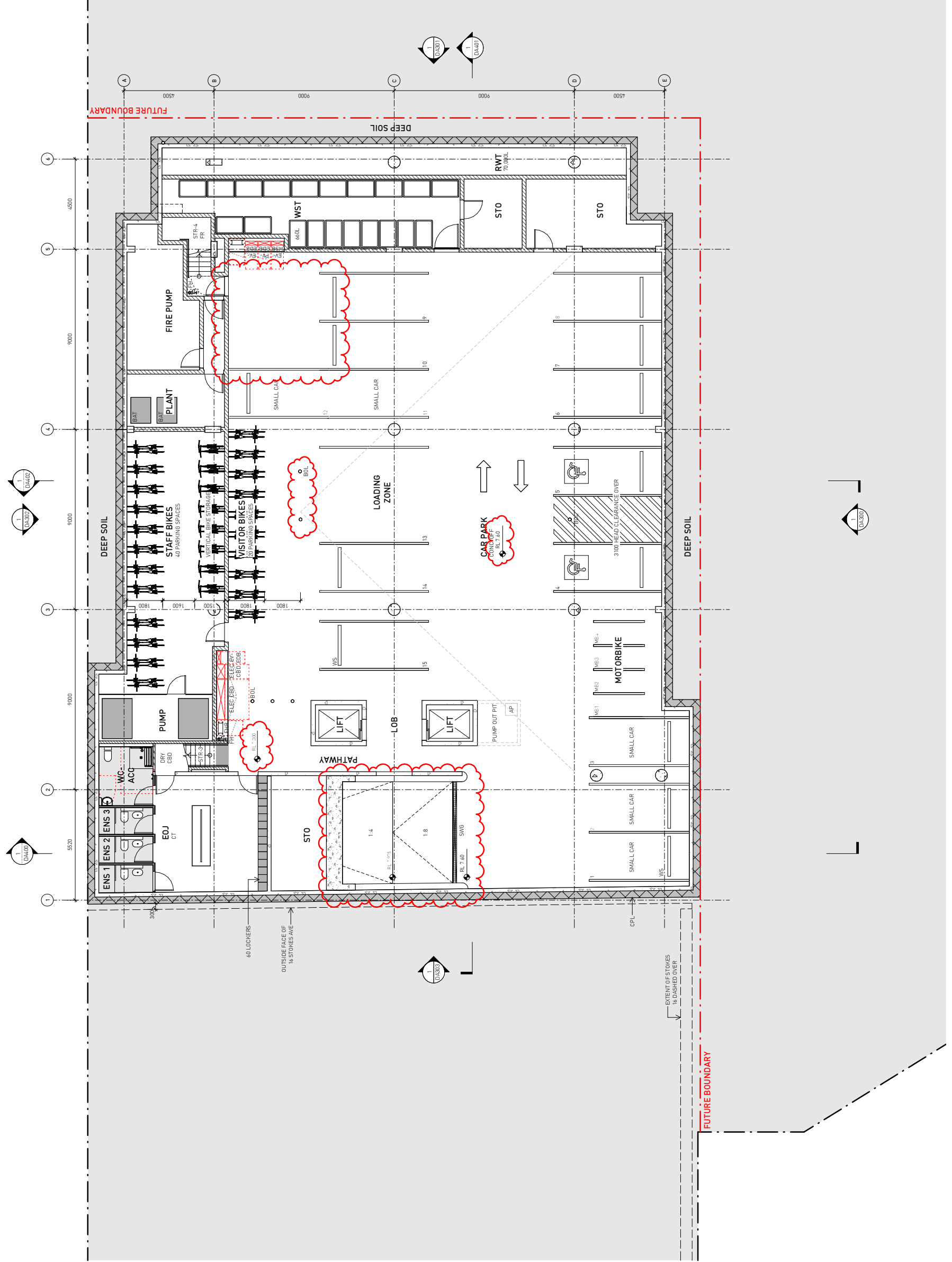
| LEGEND | |
|--------|---|
| | STUD WALL / PARTITION |
| | CONCRETE WALL |
| | BLOCK WALL |
| | BRICK WALL |
| | EXISTING WALL TO BE RETAINED (SHOWN IN RED) |
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PARKING & FACILITIES REQ

- Bikes (employees)
 - Req: 1 per 150m² = 27 spaces
 - Provision: 40 spaces provided
- Bikes (visitors)
 - Req: 1 per 400m² = 14 spaces
 - Provision: 20 spaces
- Car parking
 - Max = (GFA x site area) / 50 x GFA (all bldgs)
 - Req: Max. 54 spaces
 - Provision: 15 spaces
- Service vehicle parking
 - Req: 1 per 300m² = 1 space
 - Provision: 1 space
- Accessible car parking
 - Req: 1 per 20 spaces = 2 spaces
 - Provision: 2 spaces
- Motorbike parking
 - Req: 1 per 12 car spaces = 3 spaces
 - Provision: 4 spaces
- Lockers
 - Req: 1 per bike parking space = 60 lockers
 - Provision: 60 lockers
- Shower and change facilities
 - Req: 1 per 100 bike spaces = 6 units
 - Provision: 7 units (incl. 2 at Stokes St, 1 at Stokes Rd)



1 BASEMENT PLAN

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PROJECT 2202

STOKES 18

DRAWN DH

SENIOR OA WS

APP D WS

DWG TITLE

BASEMENT

DWG NO

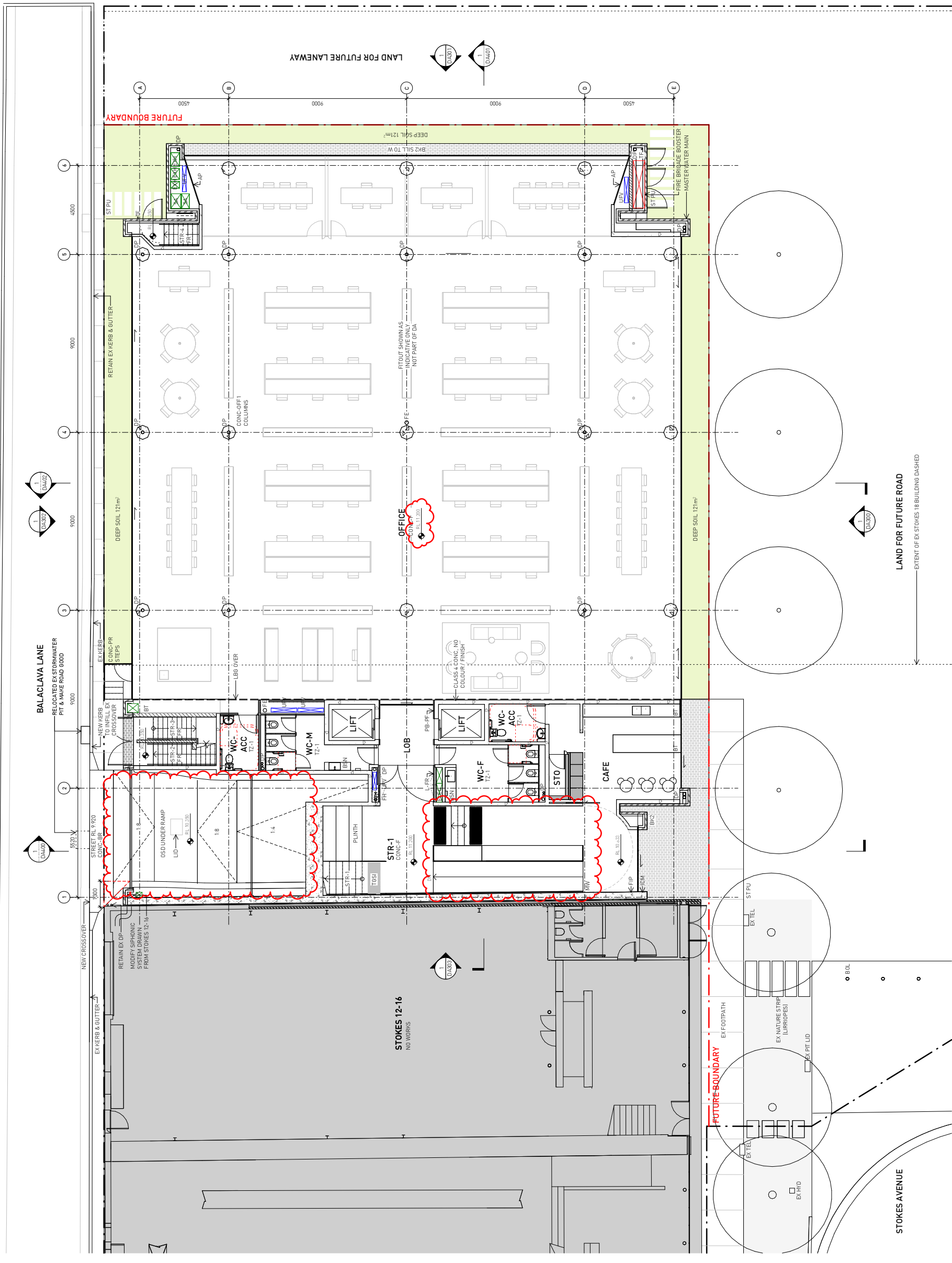
DA099

REV C

| LEGEND | |
|--------|---|
| | STUD WALL / PARTITION |
| | CONCRETE WALL |
| | BLOCK WALL |
| | BRICK WALL |
| | EXISTING WALL TO BE RETAINED (SEE SHOWS DETAIL) |
| | WALL TO BE DEMOLISHED |

- NOTES**
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1 GROUND FLOOR PLAN

14 STOKES AVE
ALEXANDRIA NSW 2015
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NOM ARCH WILLIAM SMART 4381

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PROJECT 2202

STOKES 18

SENIOR OA

APP D

DWG TITLE

GROUND FLOOR PLAN

DWG NO

DA100

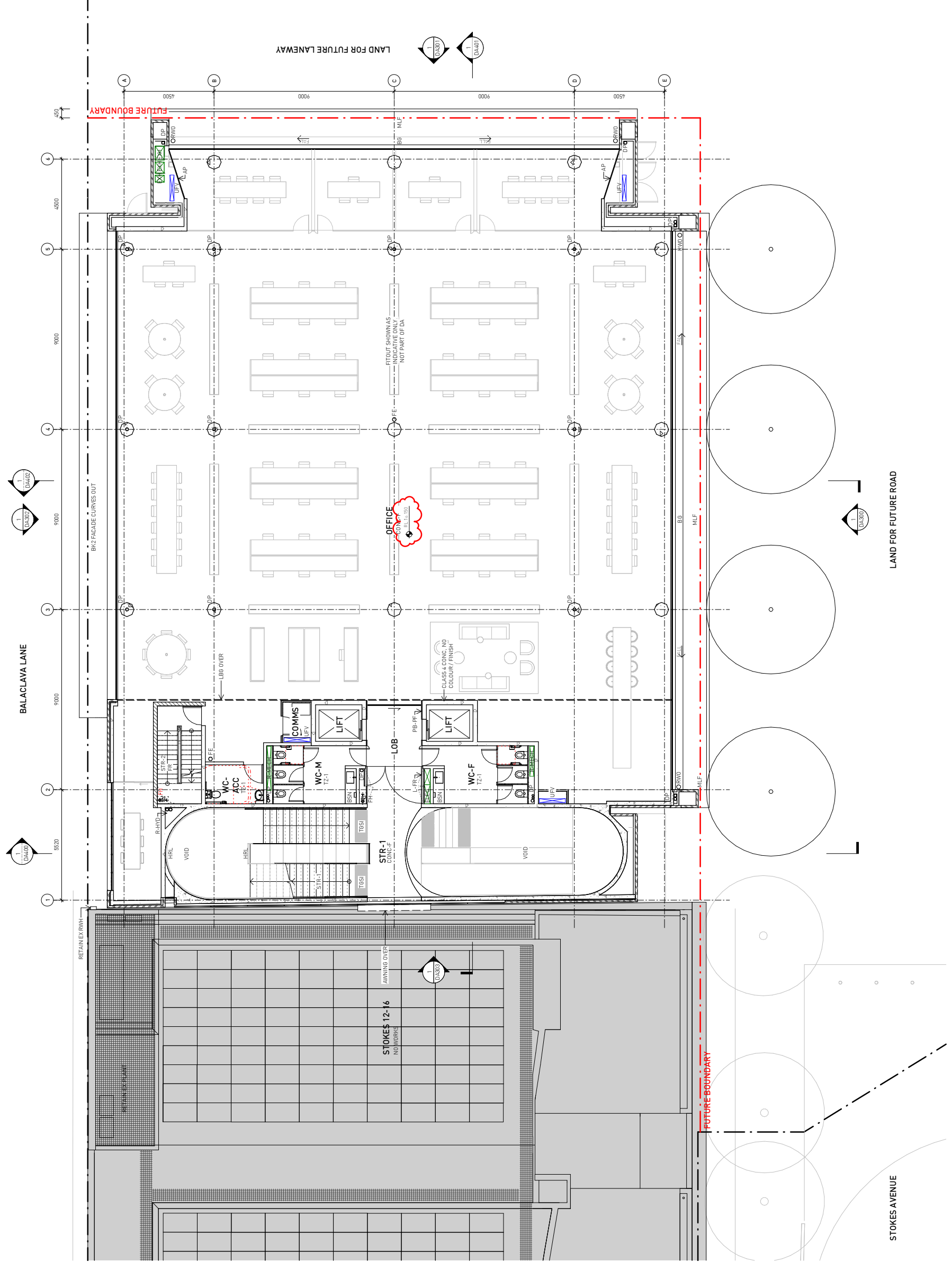
REV

WS

WS

C

| LEGEND | |
|--------|--------------------------------|
| | STUD WALL / PARTITION |
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1 LEVEL 1 PLAN

14 STOKES AVE
ALEXANDRIA NSW 2015
TEL +61 2 8332 4333
NOM ARCH WILLIAM SMART 4381

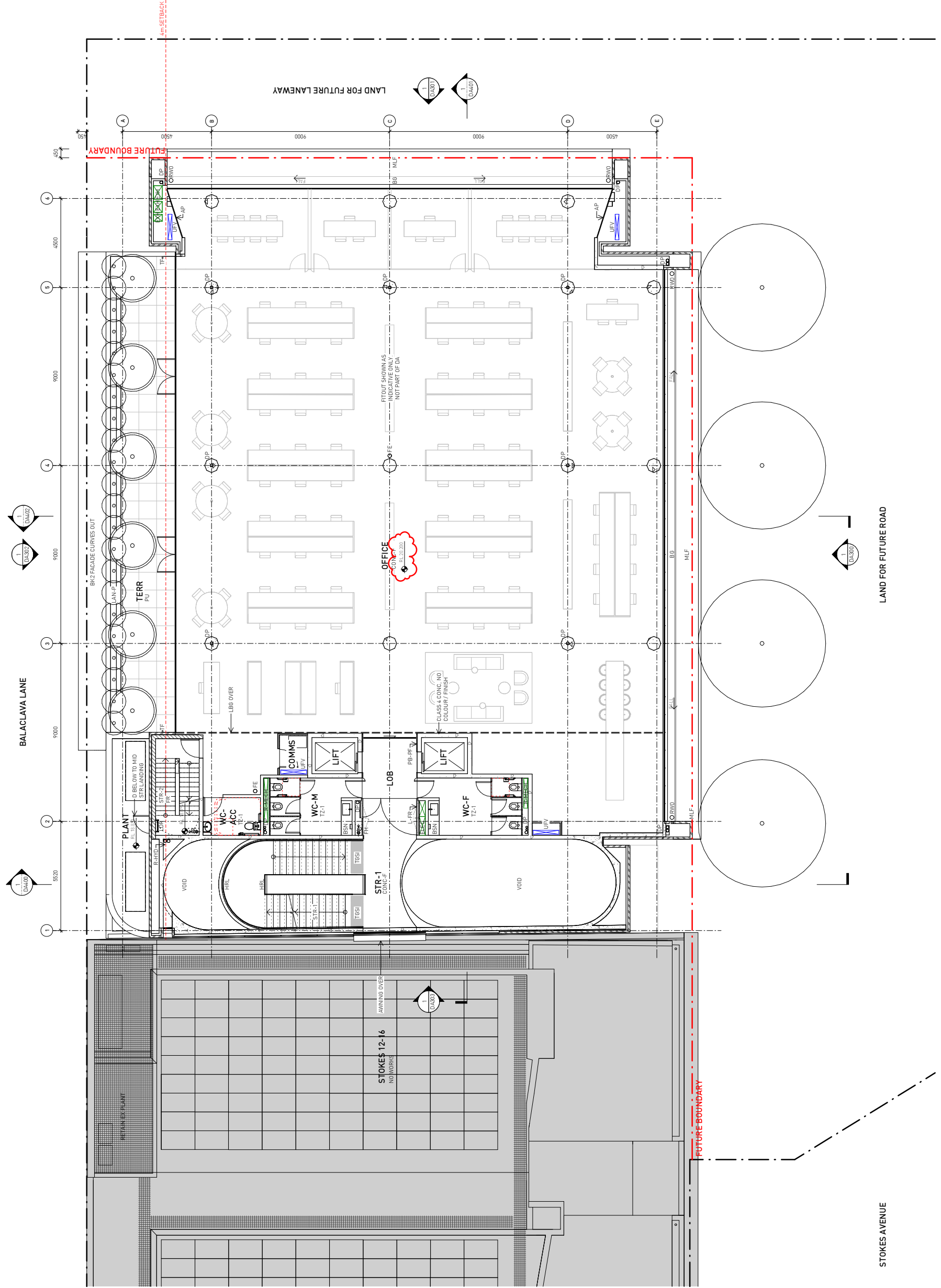
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PROJECT 2202 STOKES 18
DRAWN DH WS APP D
SENIOR OA WS
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PROJECT 2202 STOKES 18
DRAWN DH WS APP D
SENIOR OA WS
SCALE 1:100 (A1 UNO)
DO NOT SCALE DRAWINGS

DWG TITLE
LEVEL 1 PLAN
DWG NO DA101
REV C

| LEGEND | |
|--------|--|
| | STUD WALL / PARTITION |
| | CONCRETE WALL |
| | BLOCK WALL |
| | BRICK WALL |
| | EXISTING WALL TO BE DEMOLISHED (BOLD SHOWS DETAIL) |
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1 LEVEL 2 PLAN

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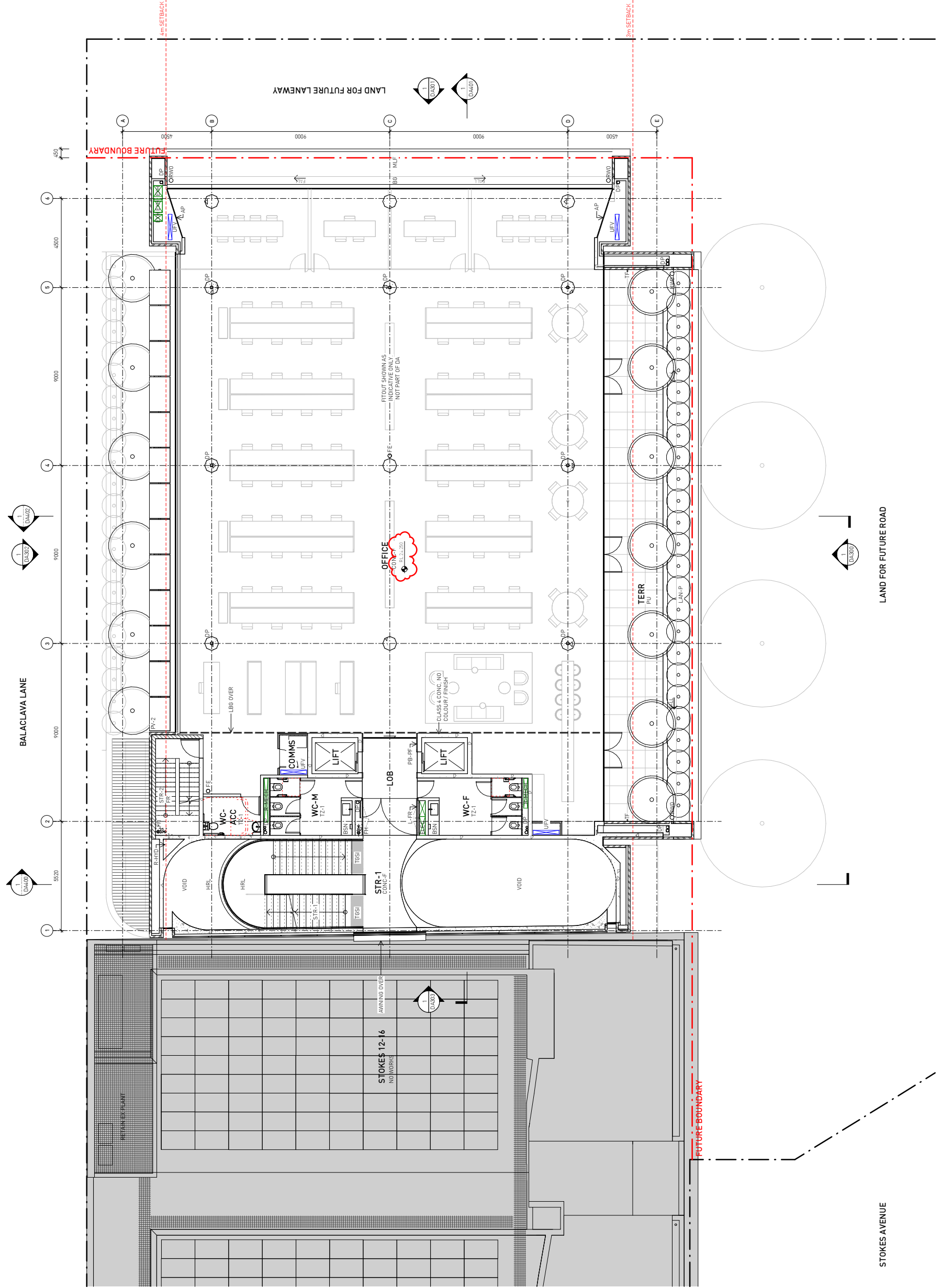
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APP'D WS WS

DWG TITLE LEVEL 2 PLAN
DWG NO DA102
REV C

| LEGEND | |
|--------|---|
| | STUD WALL / PARTITION |
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| | BLOCK WALL |
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- NOTES**
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 - Refer to any details for any areas details or minor clarifications required.
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1 LEVEL 3 PLAN

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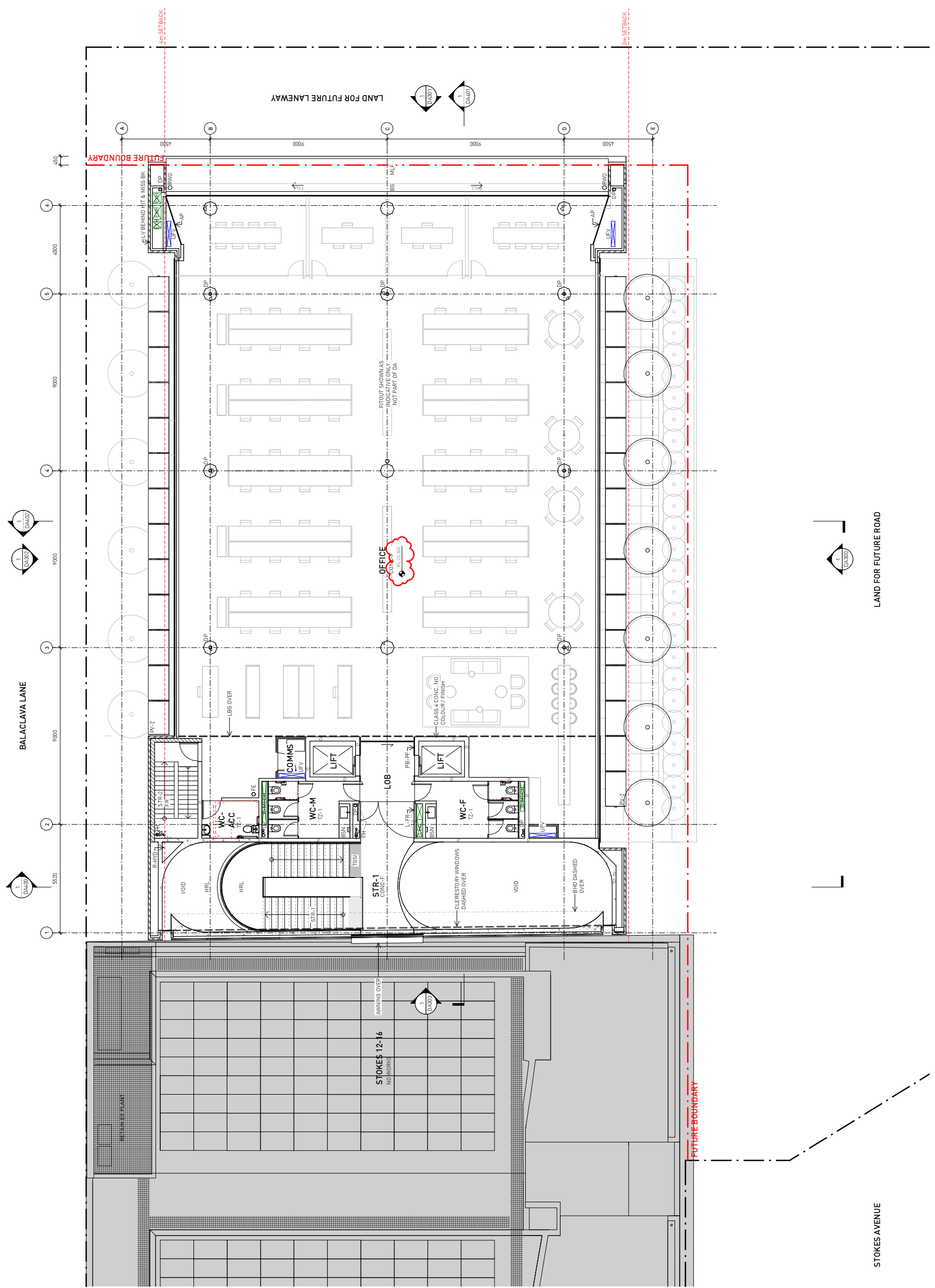
PROJECT 2202 STOKES 18
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 SENIOR OA APP D
 WS WS

DWG TITLE LEVEL 3 PLAN
 DWG NO DA103
 REV C

| LEGEND | |
|--------|--|
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1 LEVEL 4 PLAN

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DWG TITLE LEVEL 4 PLAN

DWG NO DA104
REV C

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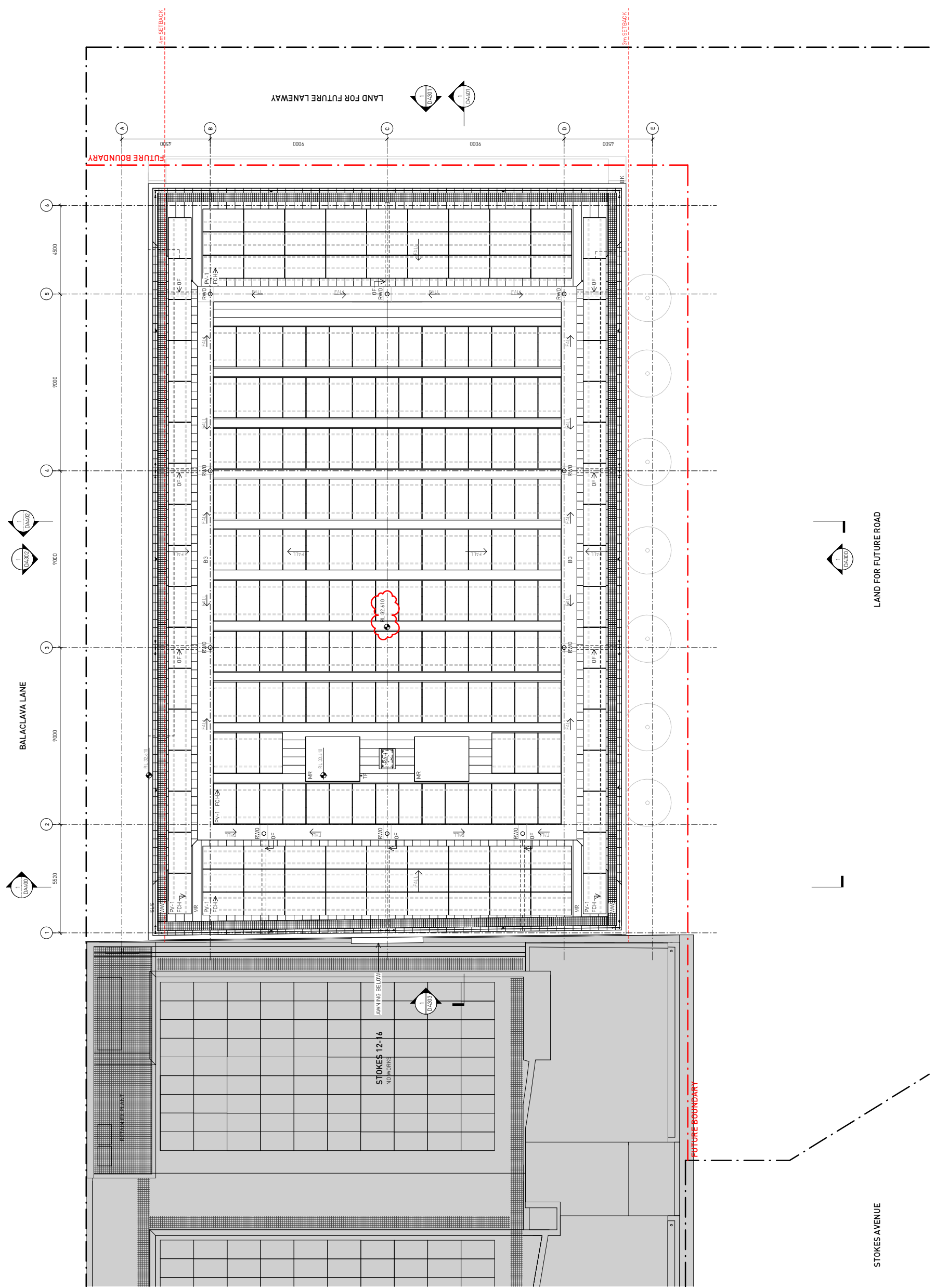
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| LEGEND | |
|--------|--|
| | STUD WALL / PARTITION |
| | CONCRETE WALL |
| | BLOCK WALL |
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| | EXISTING WALL RETAINED (BENEATH SLAB DETAIL) |
| | WALL TO BE DEMOLISHED |

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| C | DA RFI2 | 06/10/23 |



1 ROOF PLAN

smart design studio
 14 STOKES AVE
 ALEXANDRIA NSW 2015
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 DWG NO DA105
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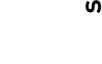
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 CHECKED WS
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 CHECKED WS
 APP'D WS

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 APP'D WS

SCALE 1:100 (B A1 UNO)

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 APP'D WS

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 DWG NO DA105
 REV C

SCALE 1:100 (B A1 UNO)
 DRAWN DH
 CHECKED WS
 APP'D WS

SCALE 1:100 (B A1 UNO)

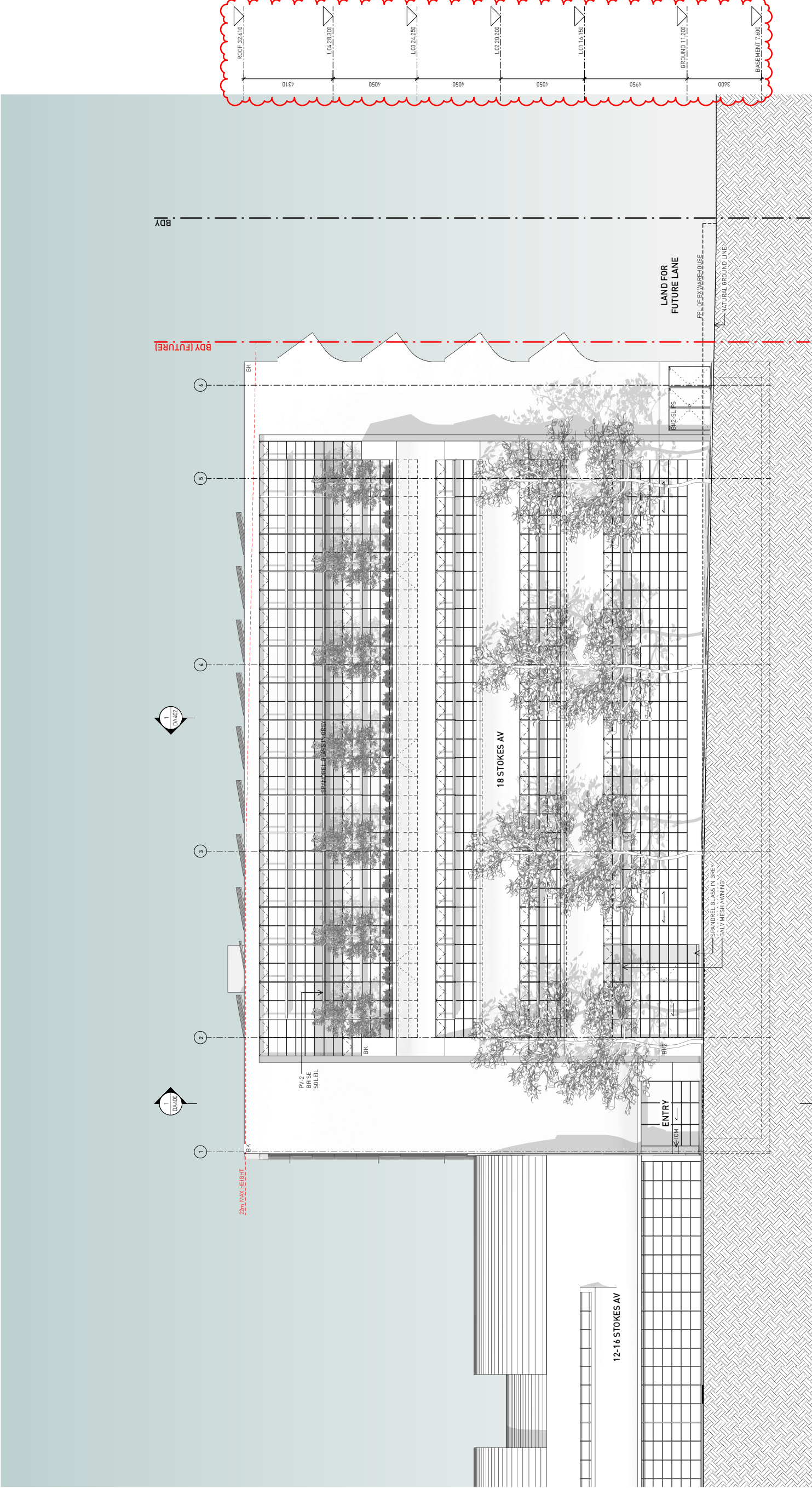
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| LEGEND | |
|--------|---|
| | STUD WALL / PARTITION |
| | CONCRETE WALL |
| | BLOCK WALL |
| | BRICK WALL |
| | EXISTING WALL TO BE DEMOLISHED (GREEN SHOWS DETAIL) |
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NOTES

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|-------|-------------------|----------|
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| B | DA RFI | 01/09/23 |
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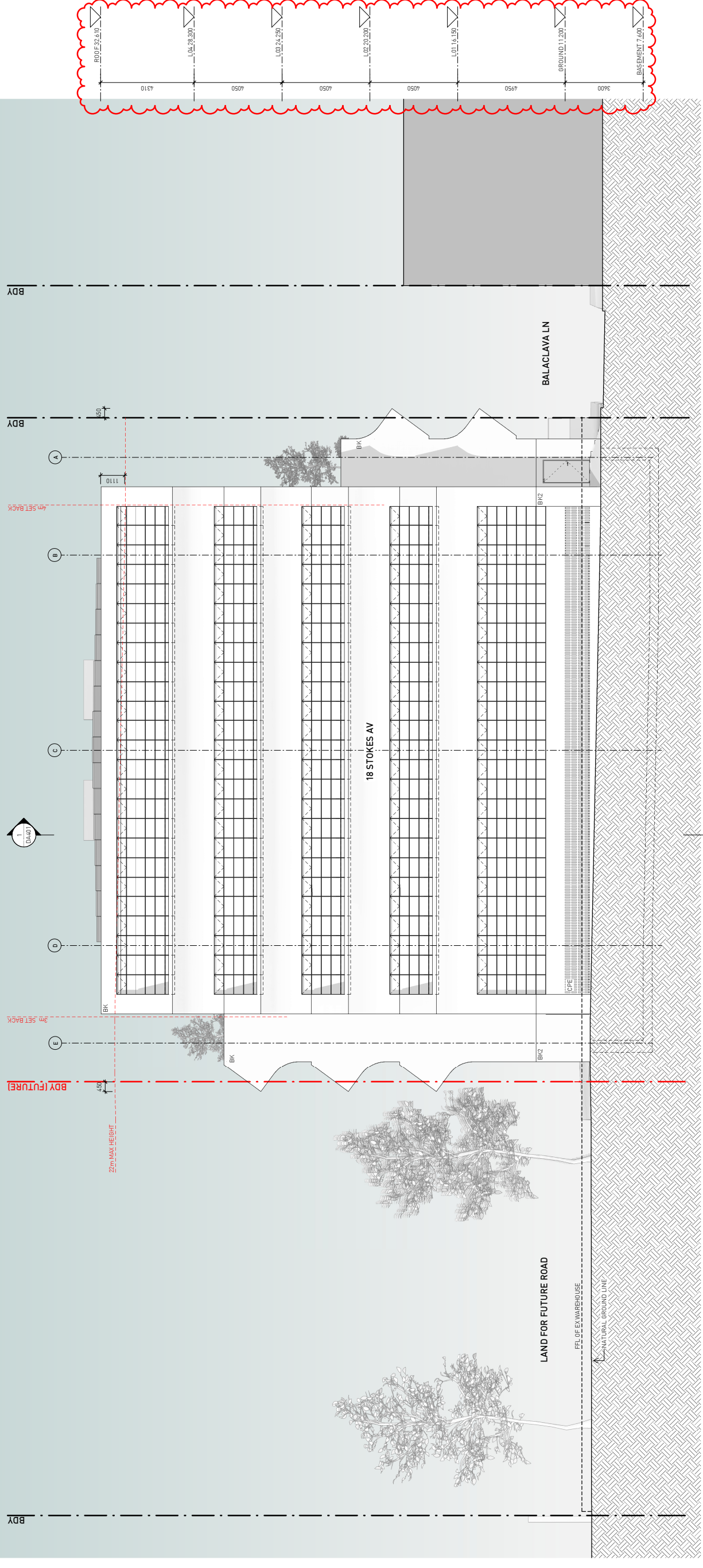


| LEGEND | |
|--------|---|
| | STUD WALL / PARTITION |
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| | BLOCK WALL |
| | BRICK WALL |
| | EXISTING WALL RETAINED (BRICKS/CONCRETE DETAIL) |
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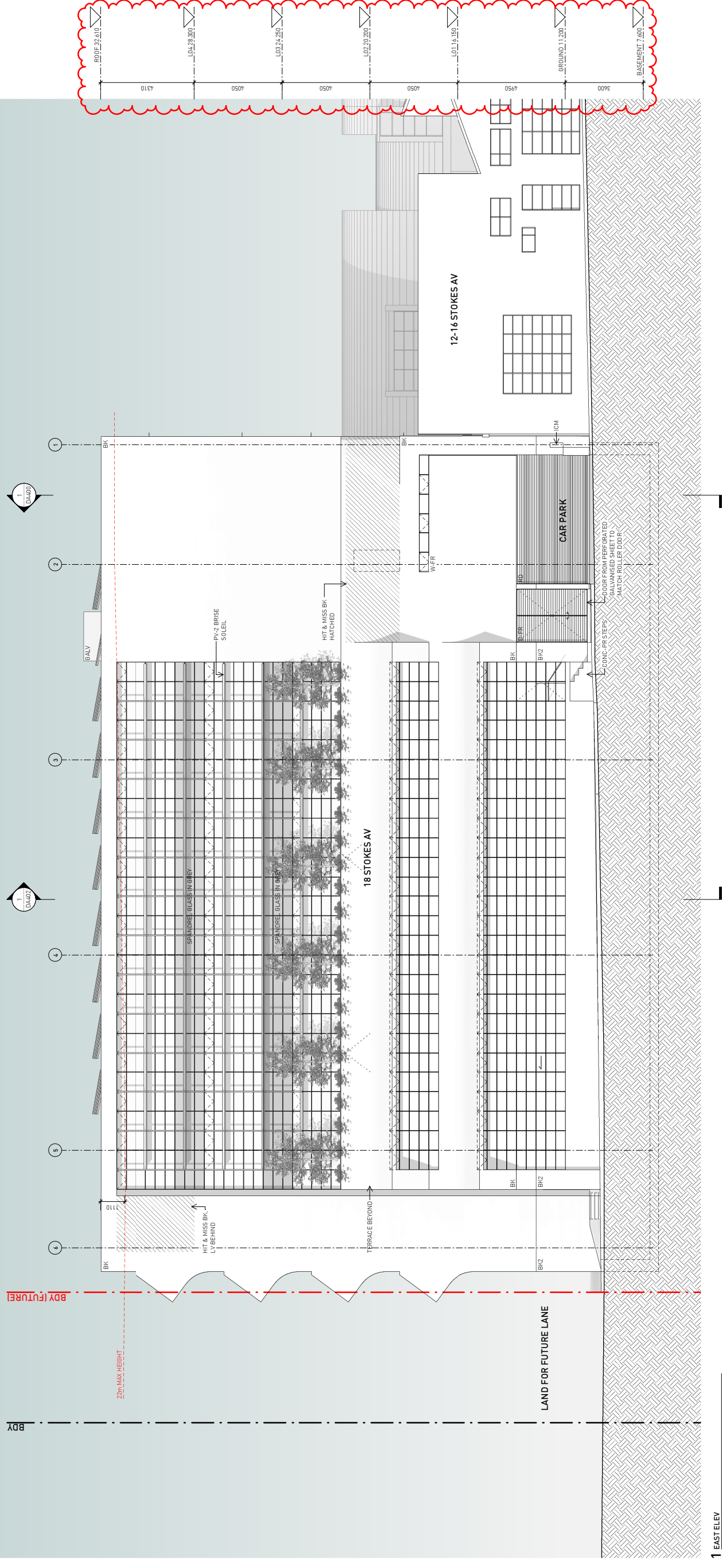
1 SOUTH ELEV

| LEGEND | |
|--------|---|
| | STUD WALL / PARTITION |
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| | BRICK WALL |
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NOTES

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- Refer to architect for any details or notes that are not shown.
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- Refer to structural engineer for any details or notes that are not shown.
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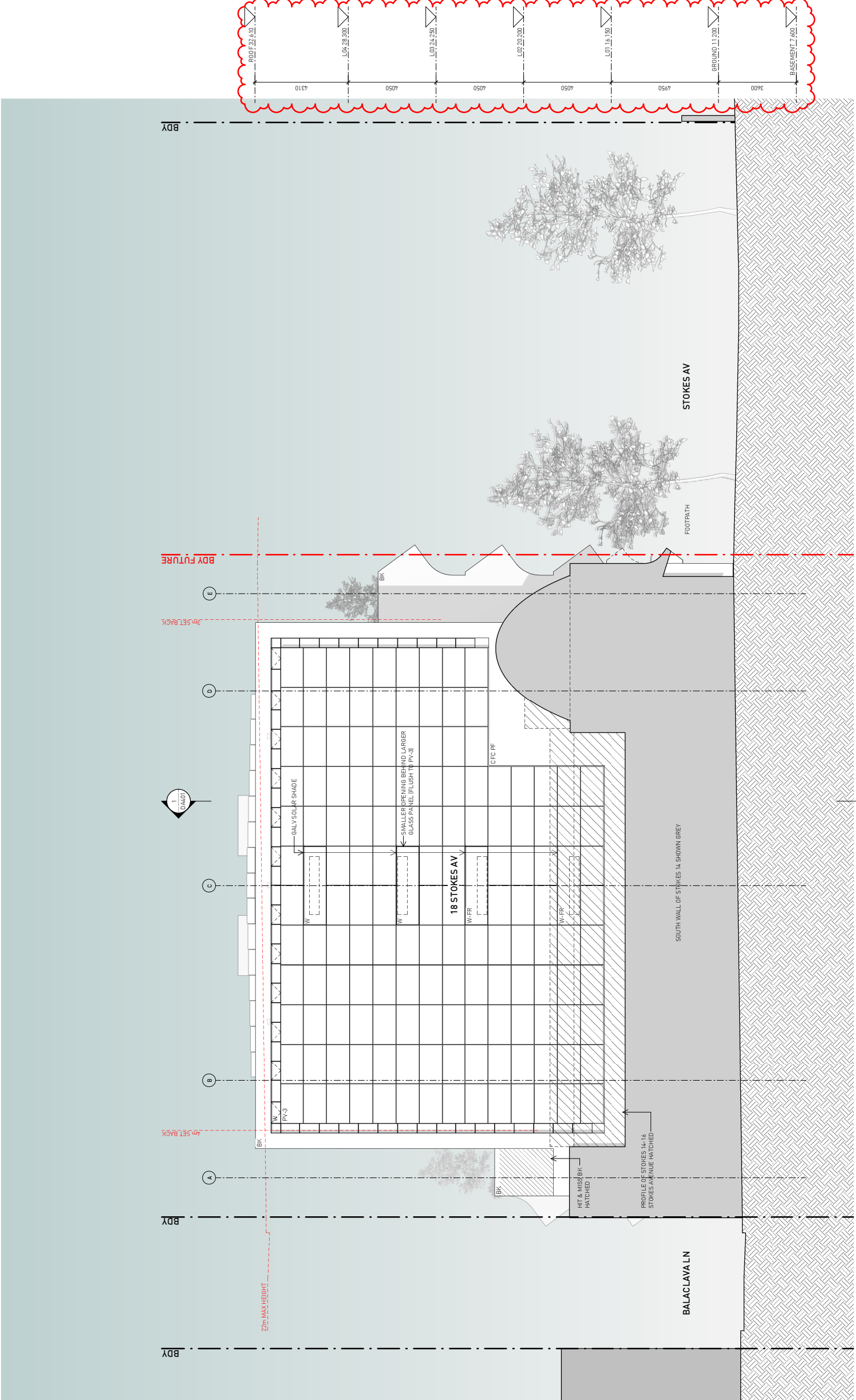


1 EAST ELEV

| LEGEND | |
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 - All drawings to be read in conjunction with conditions of contract.
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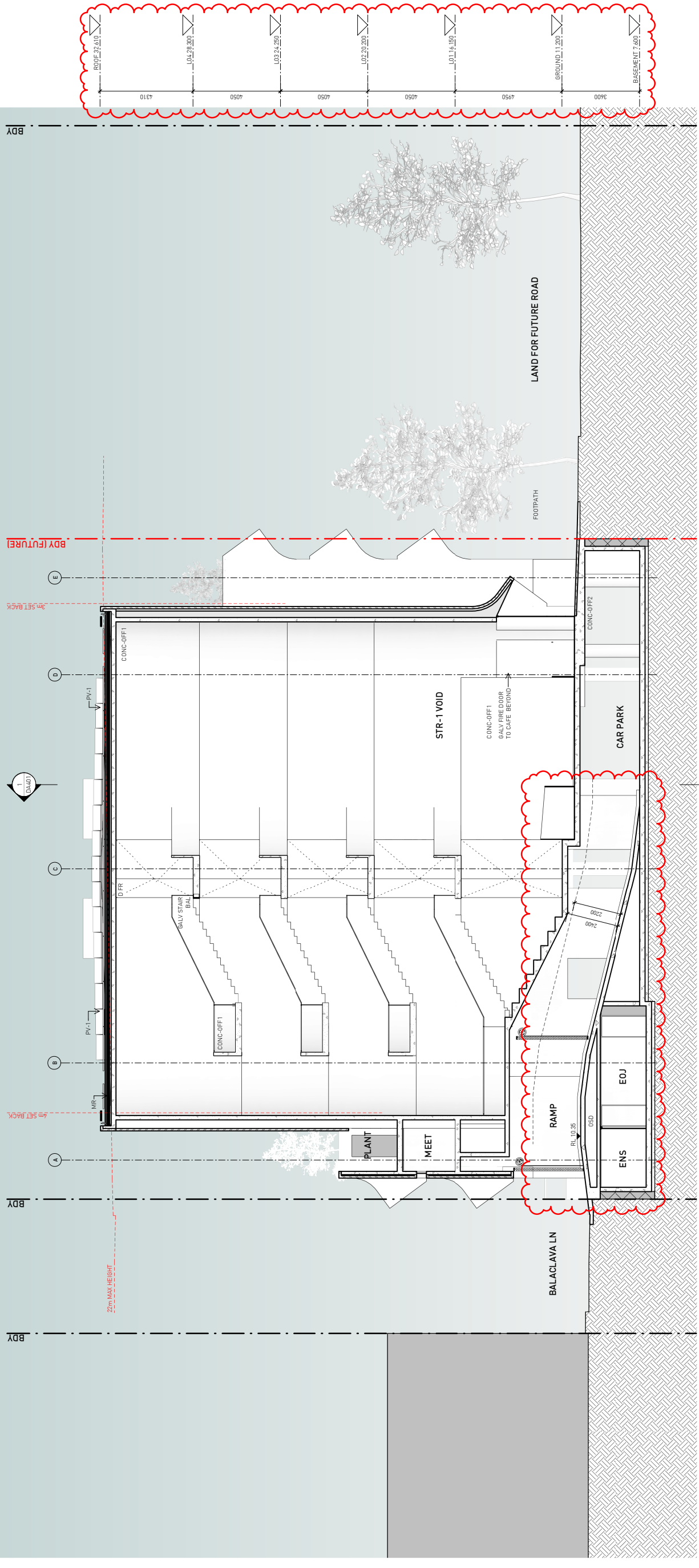
1 NORTH ELEV

| LEGEND | |
|--------|--|
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|-------|-------------------|----------|
| A | Planning Approval | 21/04/23 |
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| C | DA RFI2 | 06/10/23 |



1 SECT A

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PROJECT 2202 STOKES 18
DRAWN DH WS
SENIOR OA APP D
REV WS WS

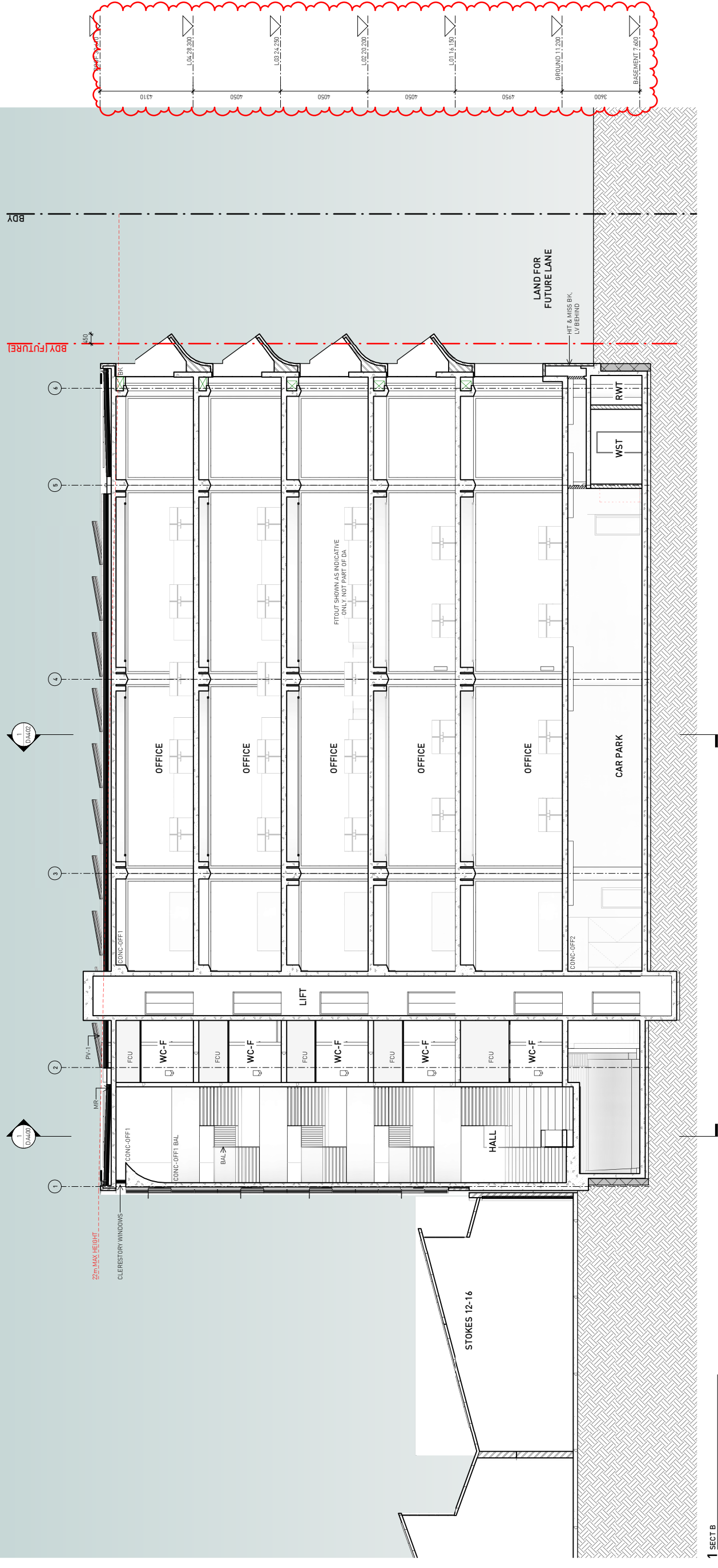
DWG TITLE SECTION A
DWG NO DA400
REV C

| LEGEND | |
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| | STUD WALL / PARTITION |
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- All drawings to be read in conjunction with consultant's drawings.
- All structures to structural engineer's details.

| ISSUE | REASON | DATE |
|-------|-------------------|----------|
| A | Planning Approval | 21/04/23 |
| B | DA RFI | 01/09/23 |
| C | DA RFI 2 | 06/10/23 |



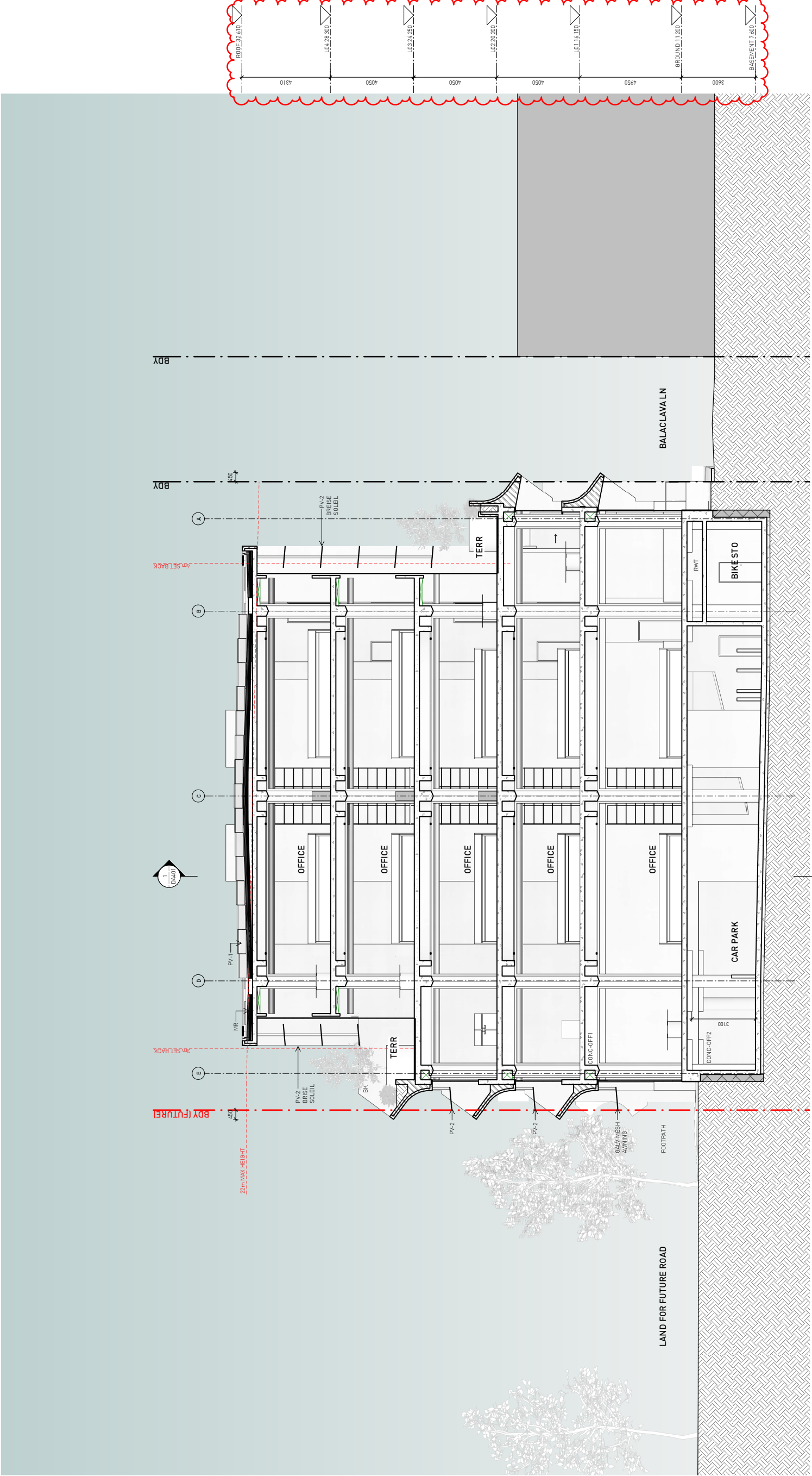
1 SECT B

| | |
|--|---|
| | STUD WALL / PARTITION |
| | CONCRETE WALL |
| | BLOCK WALL |
| | BRICK WALL |
| | EXISTING WALL TO BE DEMOLISHED (GREEN SHOWS DETAIL) |
| | WALL TO BE DEMOLISHED |

NOTES

1. All dimensions to be verified on site.
2. Refer to any discrepancies or omissions to SDB prior to construction.
3. Refer to architect for any details or notes not shown or required.
4. All drawings to be read in conjunction with specification.
5. All drawings to be read in conjunction with consultants drawings.
6. All structures to structural engineer's details.

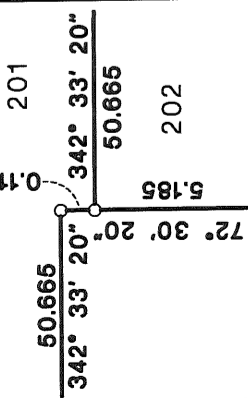
| ISSUE | REASON | DATE |
|-------|-------------------|----------|
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| C | DA RFI 2 | 06/10/23 |



1 SECT C

D I A G R A M

NOT TO SCALE



B A L C L A V A L A N E (6.095 WIDE)

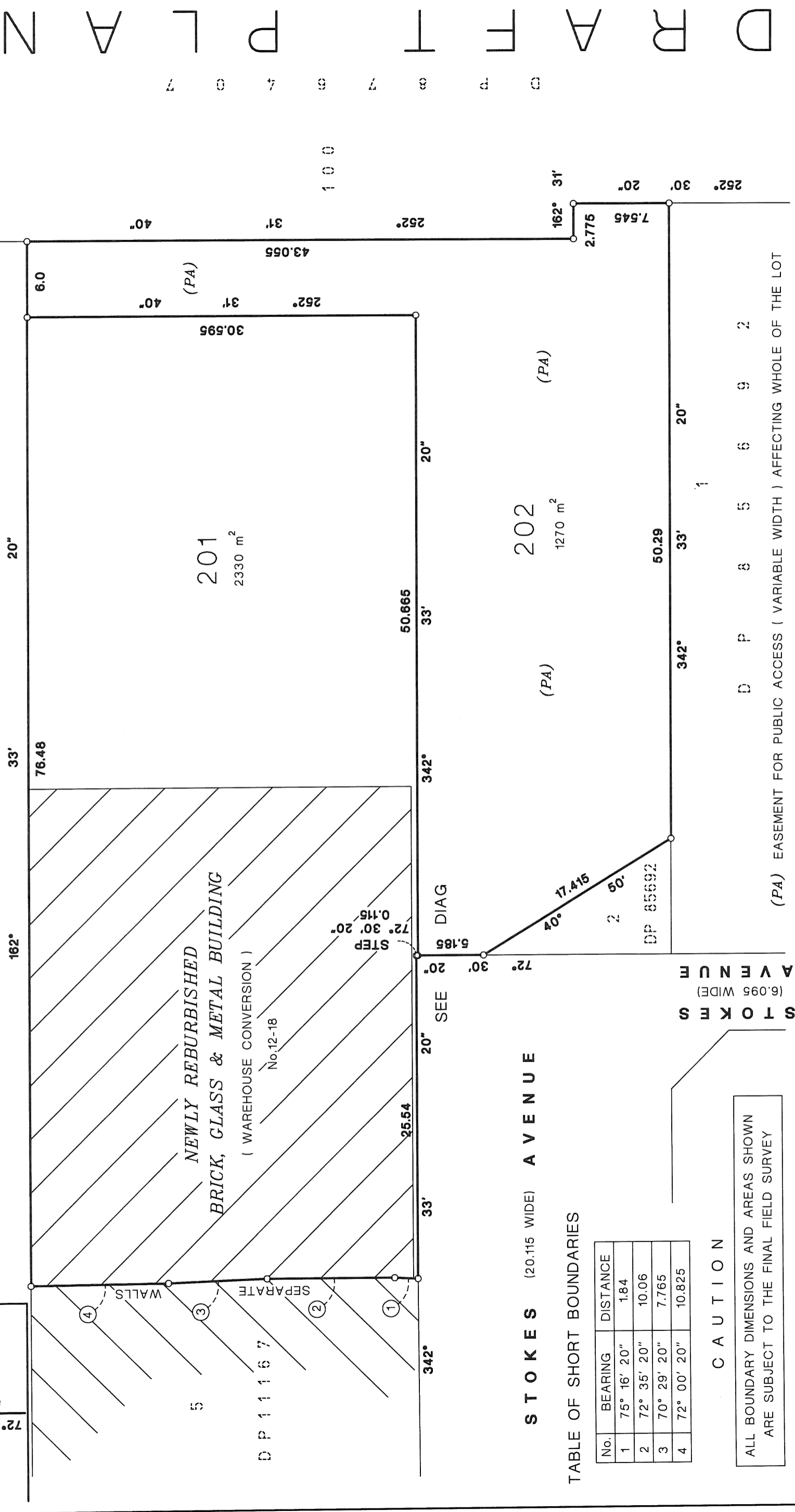


TABLE OF SHORT BOUNDARIES

| No. | BEARING | DISTANCE |
|-----|-------------|----------|
| 1 | 75° 16' 20" | 1.84 |
| 2 | 72° 35' 20" | 10.06 |
| 3 | 70° 29' 20" | 7.765 |
| 4 | 72° 00' 20" | 10.825 |

C A U T I O N

ALL BOUNDARY DIMENSIONS AND AREAS SHOWN ARE SUBJECT TO THE FINAL FIELD SURVEY

Surveyor: GIUSEPPE JOHN BOTTARO
 GEOMETRA CONSULTING PTY LTD
 PO BOX 3530
 CENTRO BANKSTOWN NSW 2200
 DATE : 11 AUGUST 2023
 Surveyor's Ref: 12194-9

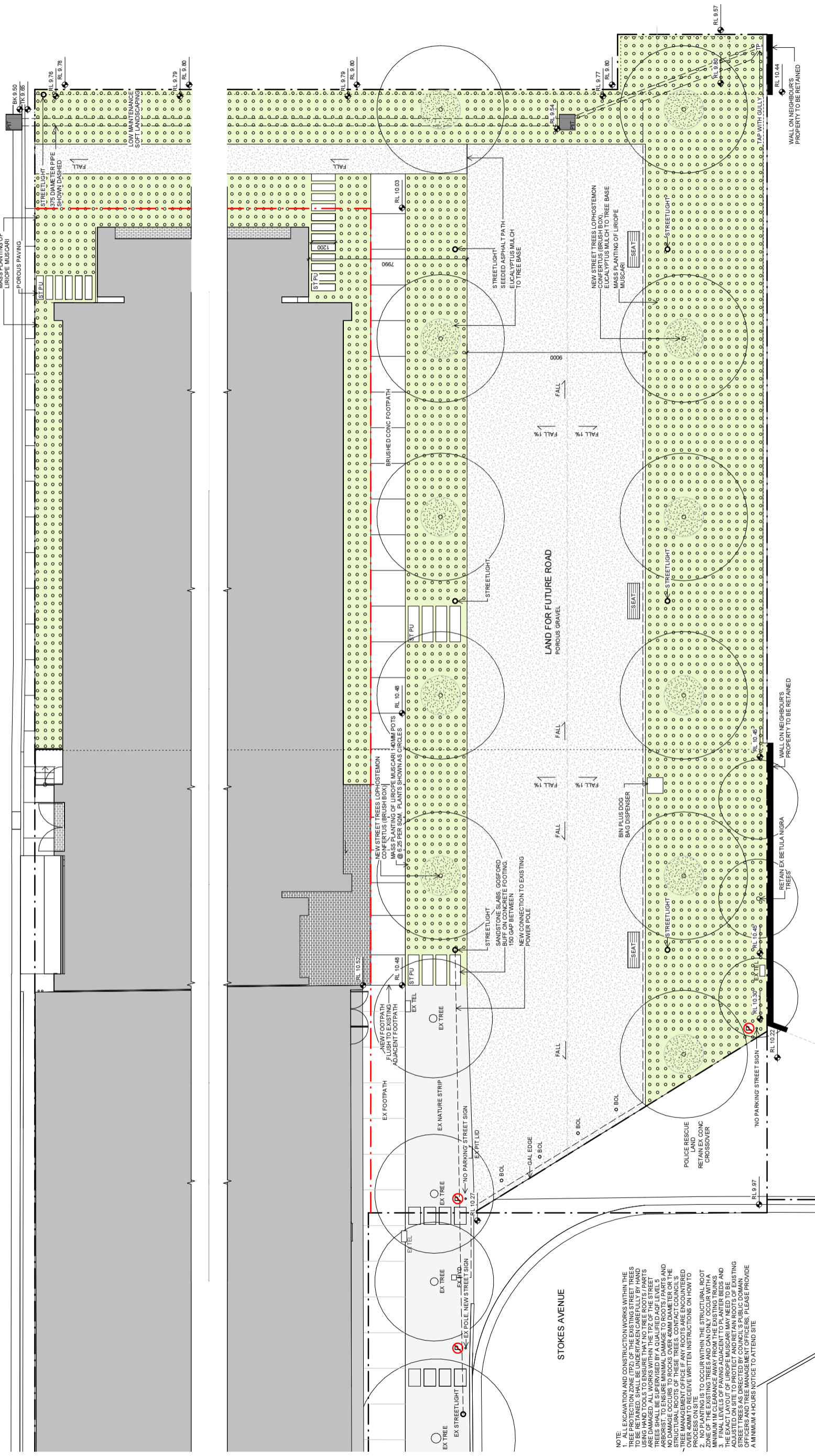
PLAN OF SUBDIVISION OF LOT 101
 IN DP 1238296

LGA: SYDNEY
 Locality: ALEXANDRIA
 Subdivision No:
 Lengths are in metres. Reduction Ratio 1:300

Registered

DP

BALACLAVA LANE



NOTE:
 1. ALL EXCAVATION AND CONSTRUCTION WORKS WITHIN THE TREE PROTECTION ZONE (TPZ) OF THE EXISTING STREET TREES TO BE RETAINED, SHALL BE UNDER TAKEN CAREFULLY BY HAND TO AVOID DAMAGE TO THE TREE TRUNKS AND BRANCHES. ALL WORKS WITHIN THE TPZ OF THE STREET TREES SHALL BE SUPERVISED BY A QUALIFIED AGF LEVEL 5 AND NO DAMAGE OCCURS TO ROOTS OVER 40MM DIAMETER OR THE STRUCTURAL ROOTS OF THESE TREES. CONTACT COUNCIL'S TREE MANAGEMENT OFFICE IF ANY ROOTS ARE ENCOUNTERED DURING CONSTRUCTION. WRITE INSTRUCTIONS ON HOW TO PROTECT ON SITE.
 2. NO PLANTING IS TO OCCUR WITHIN THE STRUCTURAL ROOT PROTECTION ZONE (SRPZ) OF THE EXISTING STREET TREES. A MINIMUM 1M CLEARANCE AWAY FROM THE EXISTING TRUNKS AND BRANCHES TO THE PLANTER BEDS IS TO BE MAINTAINED. THE EXACT LAYOUT OF LIRODIE MUSCARI MAY NEED TO BE ADJUSTED TO AVOID DAMAGE TO THE EXISTING STREET TREES AS DIRECTED BY COUNCIL'S PUBLIC DOMAIN OFFICERS AND TREE MANAGEMENT OFFICERS. PLEASE PROVIDE A MINIMUM 4 HOURS NOTICE TO ATTEND SITE.

| | | | | |
|--|----------------------------|--------------------|------------------------------------|--|
| <p>12-18 STOKES AVENUE ALEXANDRIA NSW 2015</p> <p>LANDSCAPE CONCEPT DOCUMENTATION LANDSCAPE PLAN</p> <p>DRAWING NO. LCP-03 SCALE 1:200@A3</p> <p><small>DO NOT SCALE DRAWINGS. USE DIMENSIONS AND LEVELS TO BE VERIFIED ON SITE. ALL DIMENSIONS ARE TO BE CONFIRMED BY SURVEY. REPORT ALL DISCREPANCIES TO FIELDWORK ASSOCIATES PTY LTD AND AWAIT INSTRUCTIONS PRIOR TO PROCEEDING WITH CONSTRUCTION. ALL WORK TO COMPLY WITH STATUTORY REQUIREMENTS. FIELDWORK ASSOCIATES PTY LTD IS NOT RESPONSIBLE FOR QUALITY OR SURVIVAL OF ANY PLANT MATERIAL SUPPLIED UNLESS OTHERWISE SPECIFIED.</small></p> | <p>DATE 13.02.2024</p> | <p>ISSUE D</p> | <p>REASON FOR ISSUE REVIEW</p> | <p>DESIGNED C. OWEN</p> <p>DRAWN C. OWEN</p> |
| | | | | |